



## Board of Harbor Commissioners

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**Addendum # 8**  
**San Mateo County Harbor District**  
**(Pillar Point Harbor RV Park Restroom and Greenspace Project)**  
**(August 4, 2022)**  
**IFB No.- 2018-08**

Below are our responses to questions and requests for clarifications received as of August 4, 2022. This Addendum corrects the response to Question 7-11 and answers Question 7-12. Additional information has also been added to Response 7-4. New requests for clarifications begin at Questions 8-1 through 8-5.

The Bid Due Date has been extended to **August 16, 2022. 2:00 PM**

Please acknowledge receipt of all Addenda using the form on page 64 of the IFB.

Please submit revised Bid Form (attached).

- 1 Can you please provide engineer's estimate on the above referenced project?

A: Yes, \$2,710,122- which includes a 10% contingency. But we should not answer questions individually- all deserve the same answers and information. We should start a question/response matrix and issue responses to all Plan holders as an Addendum,. I am working on the July 6 presentation and will include it there also.

- 2 Can I look at a sample contract?

A: A sample contract was posted to the District website,

- 3 2. Could you post the PowerPoint Presentation (or a PDF of it) to the District web site?

A: The Harbor District posted the recording of the meeting on their website, which included the PPT.

- 4-1 Please provide remedy for existing erosion as shown on the attached pictures. Cannot locate anything in plans.

C-1

A: Bid Schedule Item 19 is for the installation of a "Cobblestone Trail Collar" as erosion control and protection. This item is paid by the sq. ft. The Engineer may increase the quantity of this Bid line item, following completion of the trail grading work and inspection. Additional Erosion Control Measures may be implemented upon completion of the grading work and inspection by the Engineer. This could include the placement of light class angular rock, such as 6 inch d50 or larger crushed rock, 6-12 inches thick placed on cut and fill soil areas requiring additional erosion protection. This work would be subject to Change Order procedures

Erosion control for existing and newly disturbed areas, such as below the trail corridor and cut and fill slope trail shoulder areas will include the installation of a jute netting erosion control blanket, placement of 2-3 inches of compost and broadcast seeding and seed covering using PCS, Native Erosion Control Seed Mix, or approved Equal. The PCS Seed mix contains; California Brome (*Bromus carinatus*), Blue Wildrye (*Elymus glaucus*), Small Fescue (*Festuca microstachys*), and Tomcat Clover (*Trifolium willdenovii*). Seed and cover at 1 lb./sq.ft. PCS Native Seed available from Pacific Coast Seed Company (925) 373-4417. info@pcseed.com.

Engineer estimates up to but no more than 1,000 sq. feet of disturbed area could require erosion control jute blanket, topsoil placement, and seeding. Engineer will assist in determining areas requiring erosion control and disturbed area seeding. Provide submittals for review and approval of Engineer. This work will be paid for as a part of the Lump Sum Bid Schedule Item #7, "Implement Water Pollution Control Measures, incl. Erosion Control"

- |     |   |       |     |
|-----|---|-------|-----|
| 4-2 | Can we use some of the dirt spoils from restroom area to build this area up?  | Plans | C-2 |
|     | A: Yes, cut soil material, free of concrete and construction debris, may be reused on site as fill, including the area indicated in the question. |       |     |
| 4-3 | Are we responsible to repair/replace demo'd concrete under old bathroom once joint trench work is done?   | Plans |     |
|     | A: Yes, the Contractor shall repair to existing conditions any utility trench work, including near the existing restroom.                         |       |     |

- 4-4 Note: plans call for contractor to sawcut existing asphalt for the joint trench and water service trench and patch. With the condition of the existing asphalt the patch will likely leak in the future. Please confirm that only a patch is being requested for sawcut areas. U-1
- A: The Contractor is correct that the AC pavement is in poor condition where the utility trench would be located and a clean saw cut edge with good pavement restoration and conform will be difficult. The Engineer will direct work in this area to patch and seal the adjacent area in a zone up to 2 feet outward on both sides of the trench. Contractor warranty will be limited to only the paving over the trench backfill area.
- 4-5 What is the plan for the existing broken storm drain pipe? Its outside the limits but without addressing this, the water will likely back up and run across the walking trail. C-2
- A: The existing broken storm drain pipe along the property fronting drainage ditch is located outside of the work area in the Caltrans Right of Way. Contractor is responsible for Protection of this to maintain existing conditions. This area will be photographed prior to work start to establish a baseline. During or following completion of the sewer lateral connection, the Engineer will further inspect this area and develop a repair plan, as needed , if consultation with Caltrans, the City of Half Moon Bay, and Harbor District. Any identified new work that does not involve repair of damage to existing conditions will be subject to a Change Order.
- 4-6 Is the contractor responsible for the demo of the old sheds behind the existing restroom? If so, is the Contractor expected to rebuild or replace them?
- A: The RV Park Operator will be responsible for demolition or relocation and replacement of moveable items belong to them that are in the work areas, including the two sheds raised in the question.
- 4-7 Can placement of water service be decided in the field allowing ability to avoid as many tree roots as possible U-1
- A: Yes, the Engineer will work with the Contractor to find the best field fit for underground utilities, including the subject water line, so as to minimize impacts to trees and tree roots.

4-8	Are we able to use PVC Schedule 40 or Schedule 80 from 2' after the backflow all the way to new restroom?  A: Yes, Schedule 40 or 80 PVC can be used if typical.	Plans	U-1
4-9	Pavers specified to be 4.48" x 12.48" not available. Can we substitute with 3" x 18" pavers?  A: No, those are not permeable.	Plans	A1.2
4-10	G-1 states construction hours 7:00-6:00. A0.0 states construction hours are between 8:00 - 5:00  A: 7:00 am - 6:00 pm allowed.	Drawings	G-1 & A0.0
4-11	Will we be able to use water from site?  A: Provision of site water for construction will be the responsibility of the Contractor to arrange with RV Park Management, or for example through rental of a hydrant meter from CCWD.	Drawings	A0.0
4-12	Detail 22.08 specifies Murdock GWC74 Wall Mount Handwash Station upgraded to 316SS. This is only available in 304. Please advise.  A: 304SS is acceptable.	Drawings	A1.3 / P0.1
4-13	Restroom Accessories Schedule specifies Koala Kare KB110-SSWM Diaper Changing Stations. It appears those have been discontinued. Can we substitute KB310-SSWM? (Tech Data Sheet Attached)  A: Yes	Drawings	A0.6
4-14	Section 2.1 states office is for shared use of Contractor and Construction Manager. 2.1K states that Office for exclusive use of Construction Manager - Please clarify  A: The intent is for a small office trailer shared between the Contractor and Engineer or Inspector.	Specs	01 71 13
4-15	Protection and Indemnity Collision Liabilities and Vessel Pollution Protection req for vessels, barges, and marine equipment. There are none of those required on this project. Do we need to provide Proof of Insurance for this.  A: Proof of Marine Insurance as noted in the question will not be required.	Specs	SP4.1.A.4
4-16	Please specify the qty and sizes of triangle benches. Bid sheet shows "QTY of 5" without size specification. Plan sheet L-6 Site Furnishings depicts 2 different sizes. G-3 Site Overview shows 2 triangle benches without specifying size.	Bid Sheet & Specs	L-6, G-3, A.1 A1.1 shows 6 large and 3 small

	A: There will be three small and two large triangular benches. Engineer will field direct layout. Color to match existing benches. Please provide submittal. Install per manufacturer's instructions.		
4-17	Cannot locate drawing or direction re: placement or qty of Grinderminderson seat wall. Please provide direction.  A: Grinderminder model is Hemi half dome, brushed stainless steel. Install 3 ft. on center and per manufacturer's instructions.	Drawings	L-6
4-18	Detail 5 Bike Rack specifies WSH3602-IG-S.S , S.S in 316 Stainless. That part number is for 304SS which appears to be the industry standard for SS bike racks. The Manufacturer states that they can make the product out of 316SS for an increased price and time to produce. Also, the 316 alloy rack width will be wider 20.4" vs the 304.  A: Please provide 316 SS	Drawings	A5.2
4-19	Schedule calls for Murdock GYQ84-PF Drinking Fountain and asks for an upgrade to 316SS. Only 304SS available. Please advise.  A: 304SS is acceptable.	Drawings	P0.1
4-20	Schedule calls for Acorn Toilet 1675-W-1 to be 316SS. This product is not available in 316SS. Please advise  A: 304SS is acceptable.	Drawings	P0.1
4-21	Schedule calls for Acorn Urinal 1709HEU-W-1 to be 316 SS. This product is not available in 316SS. Please advise.  A: 304SS is acceptable.	Drawings	P0.1
4-22	Schedule calls for Sloan Products 140 and 141 for flushometers. Note: Sloan 141 is no longer available. Sloan 195 has multiple configurations but appears to be a replacement. Attached are specs for 2 with the correct GPF. Please note both the 195 and the 140 called out on schedule have a rough brass finish. Please advise re:  A: Sloan 195-0.125-5-3/4-LDIM is acceptable	Drawings	P0.1
4-23	Schedule calls for ACO linear drain in 316SS. Drain only available in 304SS. Please advise.  A: 304SS is acceptable.	Drawings	P0.1
4-24	Detail# 5 shows teak board height of 1 3/4" however Detail #11 shows a height of 3 1/2". Please clarify.  A: Detail #5/A5.1 1 3/4" is acceptable.	Drawings	A5.1

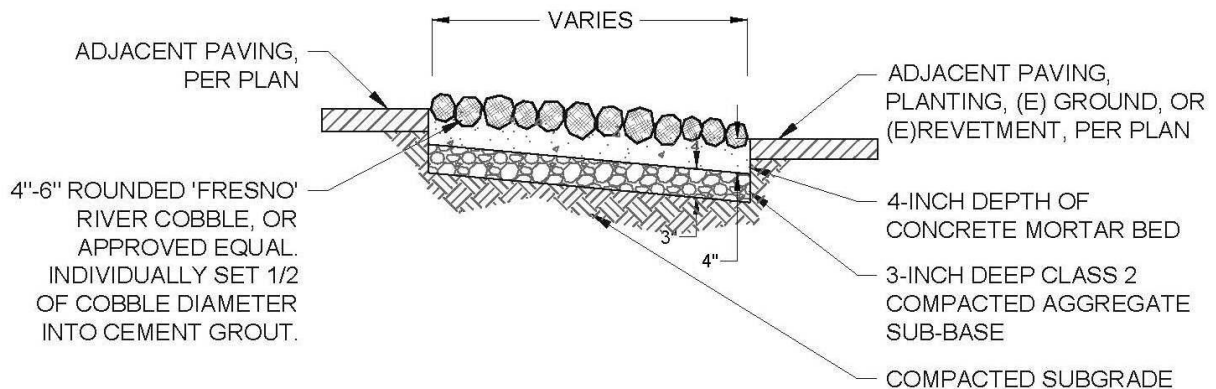
4-25 In general, it appears that 316 SS is not available for the overwhelming majority of plumbing items. Is it okay to use 304 when 316 is not available?

A: Yes, only when not available.

5-1 Please provide detail for cobble per bid item no. 18 & 19. Specs Bid Form  
There are no details or depths for the requirements of base rock, cobble, or mortar.

A: **Grouted Cobblestone Detail.** The Landscape Legend and Details, Sheet 23, should be corrected as follows:

- **Detail 3** Should be labeled “**Grouted Cobble**”. This is the detail to be used for Bid Items 18 and 19:  
**Cobblestone Divider at Benches and Cobblestone Trail Collar** and where shown on Plans. See **Revised Detail 3** below.
- **Detail 4** Should be labeled “**Boulder Installation**”



NOTES:

1. PLACE COBBLES WITH LONG DIMENSION ORIENTED VERTICALLY.
2. CROWN TO BE ROUNDED WITH NO SHARP GRADE BREAKS.
3. MINIMIZE VISIBLE EXPOSED GROUT AT COBBLE JOINTS.
4. SURFACE OF COBBLE FIELD TO BE SMOOTH AND FLAT TO GRADE WITHOUT VARIATION IN HEIGHT OF INDIVIDUAL COBBLES.
5. COBBLES WITH BREAKS OR FRACTURES ARE NOT ALLOWED.
6. ROCK SHALL BE 'SATURATED SURFACE MOIST' (SSM) PRIOR TO PLACEMENT.
7. CONCRETE MORTAR BED SHALL HAVE A CEMENT RATION PER CUBIC YARD OF CONCRETE OF NOT LESS THAN 564 POUNDS; SLUMP MAX OF 3"; AGGREGATE SIZE  $\frac{1}{4}$ " MAXIMUM.
8. INTEGRAL COLOR ADMIXTURE: CHROMIX, ADOBE TAN, #C-21 BY L.M. SCOFIELD.

**3** **GROUTED COBBLE**  
NOT TO SCALE

5-2 Please provide detail for DG per bid item no. 17. There are Specs Bid Form

no depths provided for the dg.

A: Stabilized Decomposed Granite (DG) thickness shall be 4 inches.

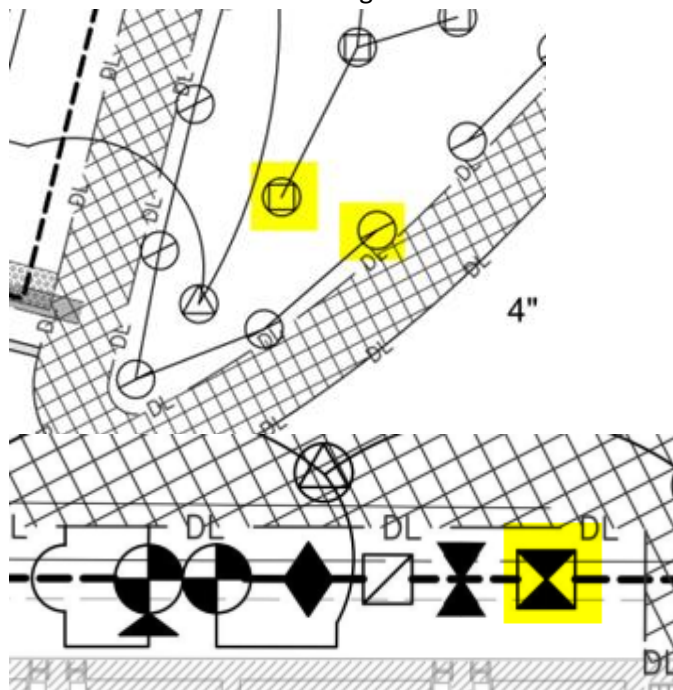
5-3 Per specification 2.3.G/329000, mulch shall be applied to a depth of 4" throughout the limits of work, as shown on the Plans. However, planting note 11 sheet L-1 requires 2" layer drain rock in all new planting areas. Please clarify which is required. Specs 2.3.G/329000

A: Rock mulch shall be 2 inches of 3/8" clean pea gravel. Organic compost is eliminated, except where specified within planting pits. This will be placed throughout planting area, with exception of sod/grass areas. This will be included in the unit cost of each plant. Pea gravel mulch shall be underlain by a layer of nonwoven geotextile fabric. Geotextile fabric shall be "Mirafi" 140 NL or approved equal. Install, overlap and secure geotextile per manufacturer's recommendations.

5-4 There is no item for mulch shown in bid form. Please clarify what item this is to be paid under? Specs Bid Form

A: The price paid for mulch shall be included in the bid price for each plant and no additional compensation will be allowed therefor.

5-5 There are symbols highlighted in yellow below on sheet L-4 that is not identified on the legend. Please advise. Drawings Sheet L-4



A: The irrigation circle with square or dash within is Detail 5, Irrigation Details Sheet 25, Pop Up Spray Head. a Hunter pop up spray, up to 15' radius @ 40 psi: PROS-06-PRS30-

CV/MP815 FULL (CIRCLE WITH SQUARE), HALF (CIRCLE WITH A DASH). Install per details and manufacturers recommendations and adjust radius in field to avoid overspray.

The square checkered symbol is the Backflow Prevention Device, Bid Item 42, however, not to be installed at the location shown on plans, but at the location of the new Irrigation Meter, see Sheet U-1 Utility Plan for correct location. Backflow Prevention Device and meter to be installed per CCWD requirements.

7-1 Bid Item #41 states Hot Tap is required. Is a Hot Tap required in addition to the one shown in Bid Item #42? Specs/Plans Bid Item #41 Drawing U1

A: The description in Bid item #41, "hot tap" refers to Bid Item #42. Two hot taps of the water main are required: 1) 1" domestic water line, and 2) 1 inch irrigation line.

7-2 States that "EV Charging System shown on these plans will be Purchased by the District and installed by a ChargePoint Certified EVCS Contractor." Further, it states that the "EVCS Contractor is responsible for all work including coordination with ChargePoint for purchase, delivery and installation." Please clarify General Contractors Responsibilities and what is to be included in Bid Item #48. Specs/Plan Bid Item #48 / Drawing C-8 #6

A: Note on Drawing C-8#6 is changed as follows: "EV Charging System shown on these plans will be purchased and installed by the Contractor. Contractor will be considered a qualified installer after taking a required manufacturer online certification training course."

Refer also to Technical Specification 34 60 13 and Appendix B for additional information on Contractor responsibilities. The Contractor shall provide a finished and fully operational EV charging system.

ChargePoint typically sells through third party Electrical Distributor partners. To request a quote, Contractors should have their Electrical Distributor(s) contact [electrical@chargepoint.com](mailto:electrical@chargepoint.com) directly and provide the following information:

- Project Name: Pillar Point Harbor RV Park Restroom and Greenspace Project
- Project Location (exact site address): Pillar Point Harbor RV Park, 4000 Cabrillo Highway, Half Moon



Bay, CA 94019

- Owner of station after install is complete: San Mateo County Harbor District
- How many stations **and** which configuration(s): two  
- one single pedestal and one double pedestal
- Preferred Electrical Distributor (**Name, Number, and Email required to quote**):

For pricing information, ChargePoint can be contacted at [electrical@chargepoint.com](mailto:electrical@chargepoint.com) or 1-866-480-2936.

Note: Questa Engineering has already furnished this information, including EV charging plans and specifications, to ChargePoint. Questa's ChargePoint contact is Alexandra Frey, [alexandra.frey@chargepoint.com](mailto:alexandra.frey@chargepoint.com). Pricing has been determined and is readily available from them.

7-3	Please define limits of pervious painting [paving] A: The limits of the pervious pavers are shown on Sheet C-1: Layout Plan and Sheet A1.2: Plaza Plan. The pervious pavers cover approximately 1860 SF.	Drawings	C-3/C-6
7-4	C-4 Shows "Trail Marker" on the south side of the overlay area. G-3 Shows Coastal Trail Marker within seating buffer area. Please clarify quantity, type, and location of District provided signs. A: All signs are to be furnished and installed by the Contractor as shown on the signage plan and details (Bid Items 25, 26, 27). No signs will be furnished by the District.	Drawings	C-4/G-3 C-9

The Coastal Trail Marker /Mileage Marker shall be fabricated and installed by the Contractor in the vicinity of the benches and the permeable pavers. The Coastal Trail Marker shall be field located by the Engineer.

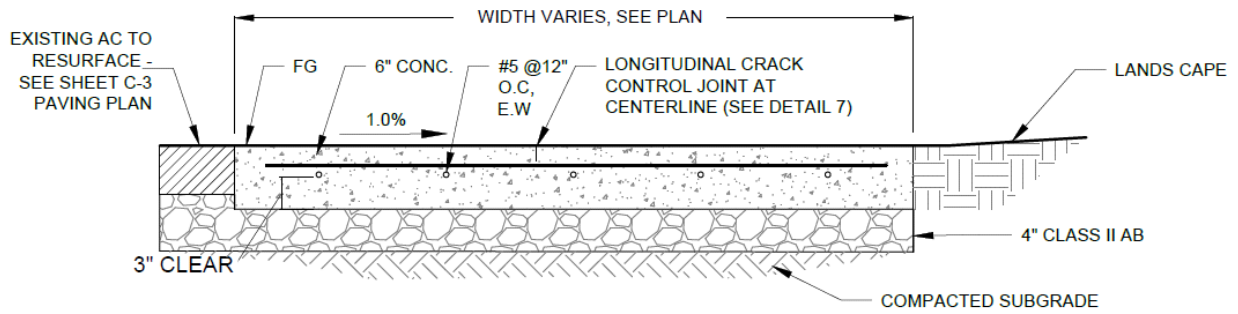
Please refer to revised Bid Schedule items 25 and 31. The California Coastal Trail Marker has a distance indicator/mileage marker that is part of the signage, not a separate item. As such, Bid Item 31 is not needed and therefore not to be used.

For this location, the mileage marker distance to Oregon is 530 miles and the distance to Mexico is 700 miles. Per the plans, shop drawings are required and subject to District and engineer approval.

For informational purposes, the stainless steel framework and fabrication for these signs in other areas was completed by AquaTech Waterjet and Laser <http://www.aquatechwaterjet.com/home-1.html>, and fabrication information may be available from them. Pricing information can be obtained from AquaTech at (949) 631-7837.

7-5	A.3.2 contains "see plans, wall/partition schedule, and TYP detail." Please direct us to wall/partition schedule. A: Wall/partition schedule not included. See plans, wall sections, and details for wall assembly information.	Drawings	A.3.2
7-6	Bid Item #22 Requests 100 LF of curb. Our calculations show 288 LF of curb. Please clarify A: Bid the cost of the concrete curbs based on the lineal footage shown on the Bid Form. Approximately 300 LF of curb is estimated per revised Bid Form.	Specs	Bid Item #22
7-7	Specifies FSC certified Plantation Teak from Pacific Coast Teak or equal. FSC accredited supplier  A: There is no question here to answer.	Specs	Spec Section 06 40 13-5 2.4.c
7-8	Multiple hardwood suppliers, including Pacific Coast Teak have stated that 3" x 4" boards are either not readily available and most likely, not available at all. Pacific Teak said they might be able to find someone to mill that size overseas, but were unsure if that was possible. Is there flexibility in the sizing as the availability of this teak is questionable? A: Wood slats for screen are 3x4 nominal dimensions, not 3"x4" as indicated in details 13 and 14 on S2.1. See updated details 13 and 14 on S2.1 for clarification. FSC certified Ipe or equal may be substituted for Teak on 3x4 screen boards and bench slats.		
7-9	Teak Bench Slats are shown as 1 ½ x 1 ¾. Per teak suppliers this is not a standard actual size and therefore specialty milling would be required if available. Would 1 3/16 x 1 ¾ suffice? A: No. Mill Teak Bench Slats to 1 1/2" x 1 3/4".	Drawings	A5.1
7-10	Please provide detail for brick slot drain by the handwashing station. Would like clarification where/how its routed and connected to either the storm drain or the sewer. A: See updated sheets P0.1 and P1.1. Detail for brick slot drain is provided on sheet S5.3	Drawings	P1.1
7-11	How many catch basins are required for brick slot drain by		

	handwashing station and by restroom? A: Provide 1 catch basin per drainage channel, connect to storm drain, to be field engineered as needed.		
7-12	As noted in previous round of questions, the pavers specified in the drawings not available from the manufacturer. Our research, as well as one of our subs, shows that permeable pavers are only available in mixed sizes. Will this be acceptable? If not, please provide further direction. A: Mixed sizes of Permeable Plank Paver are acceptable.	Drawings	A1.2
7-13	Is there a permit matrix available noting who is responsible for acquiring/paying for permits, including all utilities? A: The District has paid or will pay for all utility permits except local business license.		
7-14	Confirm that District is responsible for providing and installing content in KVO sign after Contractor installs pedestal. A: The Contractor is not responsible for providing or installing KVO sign content.	Drawings	L-7
8-1	Please clarify – if Hot Tap Quote in Bid Item #41 “refers to Bid Item #42” and if an approved contractor of Coastal Water District must do hot tapping – which bid line should the hot tapping be included in? A: Two Hot Taps are required and to be paid as part of Bid Item 42 and the tap/meter installer must be approved by CCWD. There is a list provided in the bid documents (Technical Specifications, Appendix A), and CCWD-approved installers have been alerted to this project. Disregard “Hot Tap Required” in Bid Item #41. See attached revised Bid Form.	Bidder Question 7-1	
8-2	In error, I typed “pervious painting” which was interpreted by whoever answered the question to “pervious paving” and then they went on to address pervious “pavers.” My question is about the pervious paving noted specifically on C-6 detail #2. This detail shows “pervious ac parking.” Please provide limits of pervious ac parking. A: The extents of paving are shown on sheet C-3. The paving adjacent to the concrete walkway will be AC resurface. Detail 2, Sheet C-6 has been revised to state “Existing AC to Resurface,” instead of “Pervious AC Parking,” as shown below.	Bidder Question 7-3	



**2 CONCRETE WALKWAY**  
Scale = NTS

- 8-3 This question wasn't answered. It appears they cut and paste another question. Further, the plans do not show whether they are connected to storm drain or sewer. Please provide qty and connection detail. Bidder Question 7-11  
A: Please see corrected response to question 7-11 above.
- 8-4 Comment about Trail Marker.  
A: Please see updated information in Question 7-4.
- 8-5 Comment regarding EV pricing  
A: Please see Response 7-2. Pricing information is available from ChargePoint.

**ADDENDUM 8 – REVISED BID FORM, AUGUST 4, 2022**

**BID FORM**

**TO: SAN MATEO COUNTY HARBOR DISTRICT  
EL GRANADA, CA**

Pursuant to the Notice Inviting Bids, the undersigned bidder herewith submits a bid on the bidding form or forms attached hereto and made a part hereof and binds itself on award by the San Mateo County Harbor District under this bid to execute a contract in accordance with its bid, the bid documents and the award. The attached Notice Inviting Bids, General Conditions and Instructions for Bidders, Special Provisions, Technical Specifications, Bid Forms, and Addenda, if any, are made a part of this bid and all provisions thereof are accepted, and all representations and warranties required thereby are hereby affirmed.

Bids below include all applicable charges, including labor, insurance, bonding, and other costs necessary for the furnishing of all equipment and the performance of all services called for under the Contract. Prices quoted shall include all sales or use taxes.

**BIDDER SHALL SUBMIT QUOTES FOR ALL ITEMS**

**CONTRACT NO. 2018-08**

**Pillar Point Harbor  
RV Park Restroom and  
Greenspace Project**

<b>ITEM #</b>	<b>DESCRIPTION*</b>	<b>UNIT</b>	<b>EST. QTY.</b>	<b>UNIT PRICE</b>	<b>TOTAL</b>
1	Mobilization and Site Protection	LS	1		
2	Temporary Environmental Controls	LS	1		
3	Survey & Stakeout	LS	1		
4	Traffic Control Plan and Implementation, incl. Temp. Pedestrian Bypass	LS	1		
5	Demolition and Site Clearing	LS	1		
6	Cypress Tree Removal	EA	1		
7	Implement Water Pollution Control Measures, incl. Erosion Control	LS	1		
8	Earthwork & Grading - Open Use Knoll & Raingarden	LS	1		
9	Earthwork & Grading - Restroom Area	LS	1		
10	Disconnect, Remove, and Salvage Light Standard	EA	1		
11	Clean/Repair/Relocate Storm Drain inlets	LS	1		
12	Refurnish Existing Asphalt - Parking Area and Driveway	SF	8,360		
13	New Asphalt - Parking	SF	655		
14	Outdoor Use Area - Hardscape Pavers (1,860 SF)	LS	1		

ITEM #	DESCRIPTION*	UNIT	EST. QTY.	UNIT PRICE	TOTAL
15	Relocated AC Shared-Use Trail (3,610 SF)	SF	3,610		
16	AC Shared-Use Trail Overlay (500 SF)	LS	1		
17	DG Trail Shoulder	SF	1,250		
18	Cobblestone Divider at Benches (Grouted)	SF	275		
19	Cobblestone Trail Collar	SF	200		
20	Concrete Walkways (610 SF)	LS	1		
21	Striping (Parking Lanes, Curb Painting, & Crosswalk)	LS	1		
22	Curbs <del>(100 LF)</del>	LF	<del>100</del> <u>300</u>		
23	Valley Gutter (310 SF)	SF	310		
24	Concrete Band Between Mound and Rain Garden (20 SF)	LS	1		
25	<del>Install Owner-Furnished Trail Signage</del> <del>Furnish and Install CA Coastal Trail Marker</del>	EA	1		
26	Furnish & Install Parking & Directional Signage	EA	17		
27	Furnish and Install KVO Industries Info. Pedestal	LS	1		
28	Truncated Domes	EA	3		
29	Speed Bumps	EA	2		
30	Wheel Stops	EA	16		
31	<del>Install Owner-Furnished Mileage-Marker DELETE</del>	<del>LS</del>	<del>1</del>		
32	Relocate Boulder	LS	1		
33	New Landscape Boulders	EA	8		
34	Bike Racks	EA	1		
35	Relocate Benches	EA	2		
36	Triangle Benches	EA	5		
37	Palm Benches	EA	2		
38	Seat Wall (including Grinderminders on Top)	LS	1		
39	Waste Receptacles (Trash, Recycling, Compost)	EA	3		
40	Public Restroom Building with 4 Private Stalls, Common Sink Area, covered Meet-up area, Outdoor Shower Area & Drinking Fountain **[See Details below]	LS	1		
41	Facility Water System: 2 - 1" Water Lines (Domestic and Irrigation); 1-inch domestic water line to drinking fountain and showers; Including AC saw cut, trench and backfill, and repave and repair surface)-- <del>Hot Tap</del>	LS	1		

ITEM #	DESCRIPTION*	UNIT	EST. QTY.	UNIT PRICE	TOTAL
	<b>Req'd</b>				
42	1" Domestic Water Meter, Backflow Preventer, and Meter Box; 1" Irrigation Water Meter, Backflow Preventer, and Meter Box; Coordinate with CCWD and Beach Hotel - Hot Tap Req'd	LS	1		
43	Facility Electrical System for Restroom and EV Charging Stations (incl. new 200 amp service meter pedestal, meter, AC sawcut, trench, conduit, wiring, pullboxes, backfill, and repave and repair surface)	LS	1		
44	Electric Service Connection - From PG&E transformer to new 200 amp pedestal and from pedestal to restroom, including sawcut AC and concrete, trenching, conduit, wire, backfill, and coordinate with PG&E and RV park operator	LS	1		
45	Furnish, Connect, and Operate 150 kW 208y/120v Diesel Generator - Operation hours 7am to 9pm, 14 days (additional charge for daily operation of generator after 14 days)	EA	14		
46	Facility Sanitary Sewer System (incl. abandoning ex. 6" SS line segment, relocating 6" SS line, installing 6" SS line from restroom to relocated 6" SS line, SS cleanout by restroom, AC sawcut, trench, backfill, replace and repair surface)	LS	1		
47	Sanitary Sewer Connection to SS main along Cabrillo Highway (incl. standard manhole at SS main POC and pressure type manhole with backwater valve and plug gate valve; incl. coordination with GCSD)	LS	1		
48	Furnish & Install Electric Vehicle Charging Stations (one single pedestal and one double pedestal)	LS	1		
49	Fixed Metal Bollards by EV Charging Stations (2 each)	EA	2		
50	Pet Station	EA	1		
51	Landscaping - 1-gal. Grass Plugs / Small Shrubs	EA	154		

ITEM #	DESCRIPTION*	UNIT	EST. QTY.	UNIT PRICE	TOTAL
52	Landscaping - 5-gal. Large Shrubs	EA	57		
53	Landscaping - 15-gal. Trees	EA	14		
54	Landscaping - Turf (1,830 SF)	LS	1		
55	Irrigation System, including controller, distribution piping to planting and turf areas, and sprinklers and emitters	LS	1		
56	Provide Onsite small (<400 sq. ft.) Basic Construction Office Trailer - 12 months	LS	1		
<b>TOTAL BASE BID PRICE</b>					<b>\$</b>

\*Contractor to verify all quantities.

\*\* Public Restroom with four private stalls, common sink area, covered Meet-up area, Outdoor Shower Area & Drinking Fountain detailed description: (including slab on-grade & mat foundation, vertical structure, roof structure, ceiling cladding and roofing, porcelain rainscreen clad and tiled CMU walls, doors, gates, screens and louvers, toilet accessories and all necessary building hardware. Interior construction, wall finishes, floor finishes, benches, as well as Plumbing Fixtures and Equipment (water closets, urinals, lavatories, drinking fountains, floor drains, wall hydrants), Restroom Domestic Water Distribution, Restroom Sanitary Waste & Vents, Lighting & Branch Wiring (inc. lighting branch wiring), and Smoke Detectors (inc. branch wiring). Provide as shown in plans & specifications complete and operational in place.

<b>ADDITIVE ALTERNATE BID</b>					
ITEM #	DESCRIPTION	UNIT	EST. QTY.	UNIT PRICE	TOTAL
A-1	1-Year Landscape Maintenance (12 visits)	LS	1		
A-2	Design Build Fire & Security Alarm & Cloud Camera System (inc. branch wiring) with connection to City of HMB Police/Fire (base price + 3 months of service) Contractor shall provide SMCHD and Coastside Fire Protection District approved wired fire and security alarm system capable of communicating remotely, complete in place. Design intent: Honeywell Fire-Lite 1 Zone fire alarm control panel or similar with LTE fire alarm communicator, automatic fire detectors, notification appliances, and remote service capabilities, or equal. To be coordinated with and approved as operational by Coastside Fire Protection District. Contact Vendor Bay Alarm: Kevin Janeiro (510) 423-1457	LS	1		
<b>TOTAL ADDITIVE ALTERNATE PRICE</b>					<b>\$</b>